

**4** LOCATION PLAN  
**A1.01** SCALE NTS

**GENERAL NOTES**

ALL WORK SHALL CONFORM TO THE 2015 EDITION OF THE NATIONAL BUILDING CODE OF CANADA (NBC), AND APPLICABLE MUNICIPAL OR TERRITORIAL BY-LAWS AND REGULATIONS.

THE AUTHORITY HAVING JURISDICTION MAY HAVE ADDITIONAL REQUIREMENTS TO, OR PERMIT RELAXATION FROM, THE STANDARDS OF THE NBC. THE AUTHORITY GOVERNS. ALL VARIATIONS ARE TO BE CONFIRMED BY THE ARCHITECT PRIOR TO IMPLEMENTATION.

ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. CONTRACTOR TO VERIFY ALL WRITTEN DIMENSIONS WITH CONDITIONS FOUND ON SITE.

THE ARCHITECT WILL BE PROVIDING FIELD REVIEWS ON THIS PROJECT. THE ARCHITECT IS TO BE INFORMED OF PERTINENT SITE CONDITIONS AFFECTING THE WORK OR DESIRED FIELD ADJUSTMENTS TO THE DESIGN PRIOR TO COMMENCING WORK. ALLOW REASONABLE NOTIFICATION OF NECESSARY FIELD REVIEWS.

THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

DIMENSIONS ARE FROM GRID LINES OR THE EDGE OF PLYWOOD SHEATHING (FOR EXTERIOR WALLS), CENTRE OF STUDS ON INTERIOR WALLS, EXCEPT AS NOTED.

DIMENSIONS FOR INTERIOR MILLWORK AND OTHER FIXTURES MAY BE SHOWN TO INSIDE FACES OF FINISHES. THESE ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION.

GRADING TO SLOPE AWAY FROM THE PERIMETER OF THE BUILDING TO ENSURE DRAINAGE. SEE LANDSCAPE GRADING PLAN FOR SPOT ELEVATIONS AND MINIMUM SLOPES.

CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES.

CONTRACTOR SHALL ENSURE THAT THE WORKS COMPLY WITH ALL APPLICABLE SAFETY CODES AND REGULATIONS.

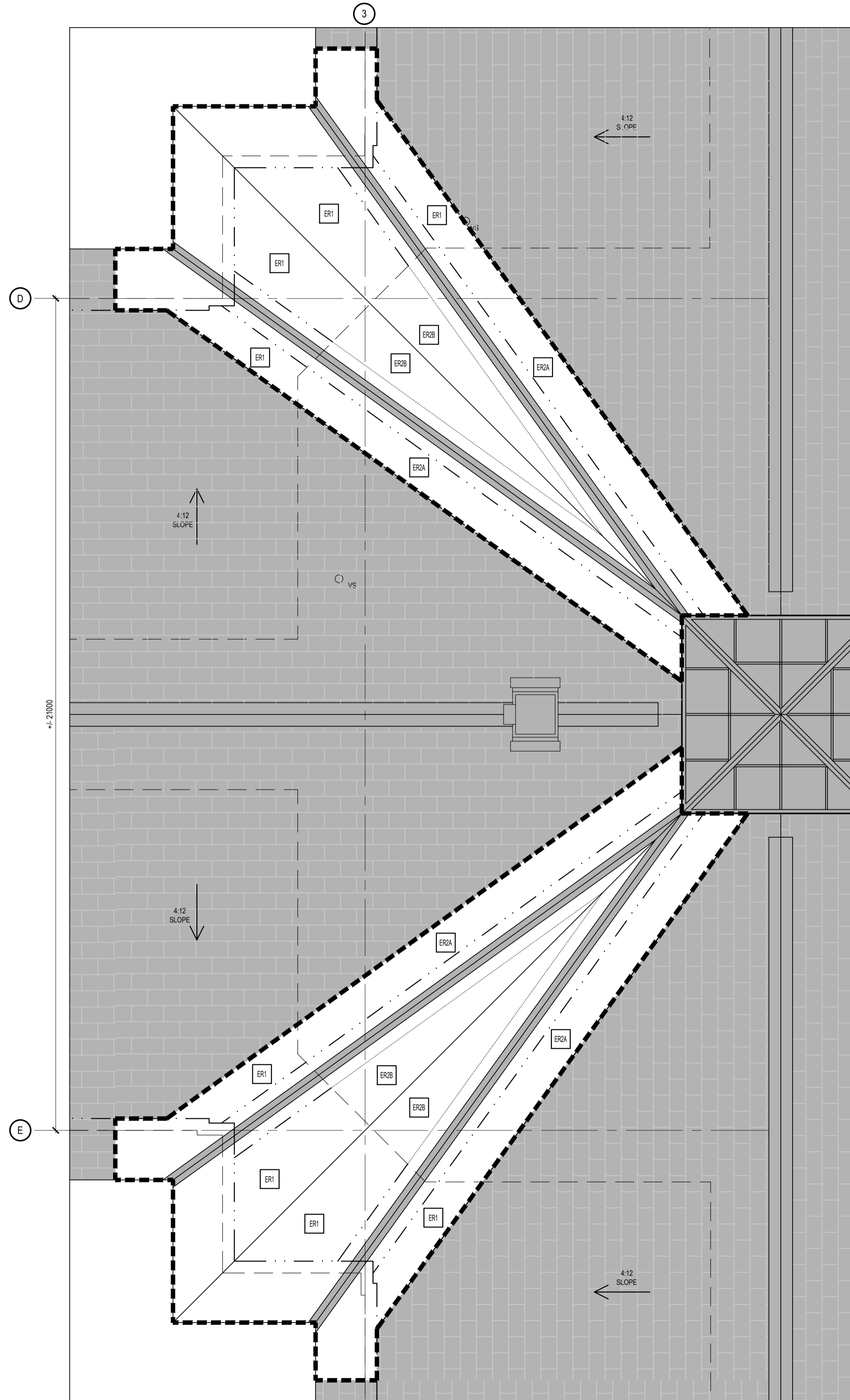
NO CUTTING OR BORING OF STRUCTURAL MEMBERS SHALL BE DONE WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.

CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL OF DEBRIS AND CLEANLINESS DURING CONSTRUCTION AND TO THOROUGHLY CLEAN ENTIRE BUILDING ON COMPLETION OF WORK.

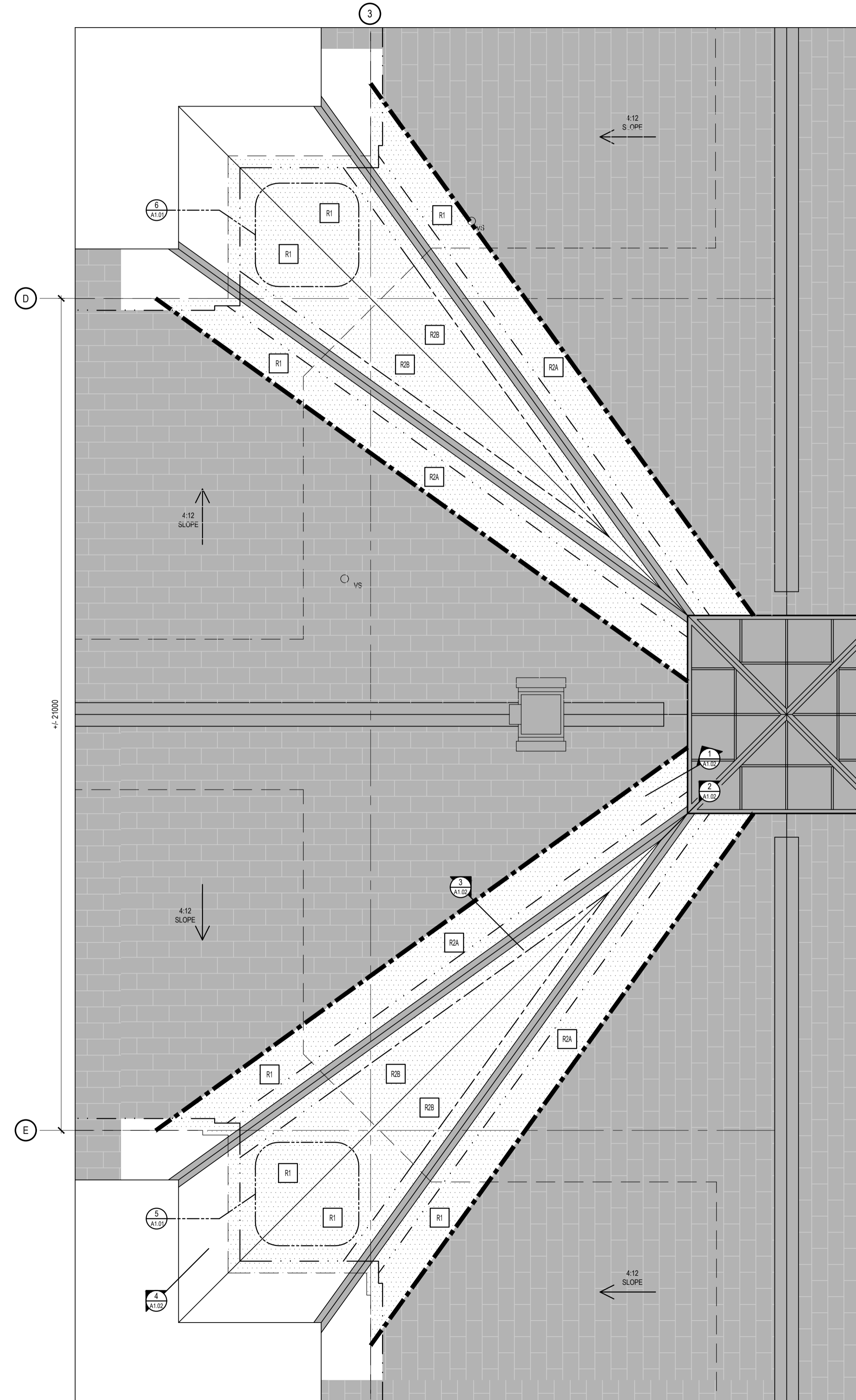
**DRAWING LEGEND**

- SECTION NUMBER  
DRAWING NUMBER
- DETAIL NUMBER  
DRAWING NUMBER
- SPECIFIC NOTE TAG
- ASSEMBLY TAG
- PROPOSED GRID LINE AND BUBBLE
- ADDENDUM NUMBER
- ADDENDUM REVISION AREA

**1** DRAWING TITLE  
**A1.0** SCALE 1:10



**1** ROOF PLAN - DEMOLITION  
**A1.01** SCALE 1:100



**2** ROOF PLAN - MEMBRANE REMEDIATION  
**A1.01** SCALE 1:100

**DRAWING INDEX**  
**ARCHITECTURAL**

- A1.01 ROOF PLAN - MEMBRANE REMEDIATION
- A1.02 CEILING PLAN & DETAILS

**GENERAL NOTES**

1. AS-BUILT INFORMATION ARE BASED UPON CONSOLIDATION OF AS-BUILT DRAWINGS FROM ORIGINAL CONSTRUCTION, PAST RENOVATION RECORDS AND SITE MEASUREMENTS. FIELD VERIFY ALL DIMENSIONS.
2. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. CONTRACTOR TO PATCH AND MAKE GOOD ALL EXTERIOR AND INTERIOR FINISHES AFFECTED BY THE WORK OF THIS PROJECT.

**LEGEND**

- EXISTING TO REMAIN
  - LINE OF DEMOLITION
  - COMPONENTS TO BE DEMOLISHED
  - EXISTING ASPHALT SHINGLES
  - LINE OF EXISTING ICE AND WATER SHIELD TO REMAIN (SITE VERIFY CONDITION)
  - LINE OF WALL BELOW
  - VENT STACK
  - INSTALL NEW ICE AND WATER SHIELD
  - EXTENT OF NEW ICE AND WATER SHIELD REMEDIATION (ENSURE LAP AND SEAL WITH EXISTING MEMBRANES)
- NOTE: INSTALL NEW ASPHALT SHINGLES TO MATCH EXISTING THROUGHOUT AREA AFFECTED BY DEMOLITION

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NOTE  
 Written dimensions shall have precedence over scaled dimensions. Contractor shall verify all dimensions and conditions on the job and the architect shall be informed of any variations from dimensions and conditions shown on the drawings. Shop drawings shall be submitted to the architect for review before proceeding with fabrication dimensions in millimeters unless noted otherwise.

**TENDER SET**  
 DO NOT USE FOR CONSTRUCTION

#2 2026-02-03 RE-ISSUED FOR TENDER  
 #1 2025-07-29 ISSUED FOR TENDER  
 REVISION ISSUE SET

SHEET INITIATION

PROJECT  
**ELIJAH SMITH  
 ELEMENTARY  
 SCHOOL - ROOF  
 REPAIRS**

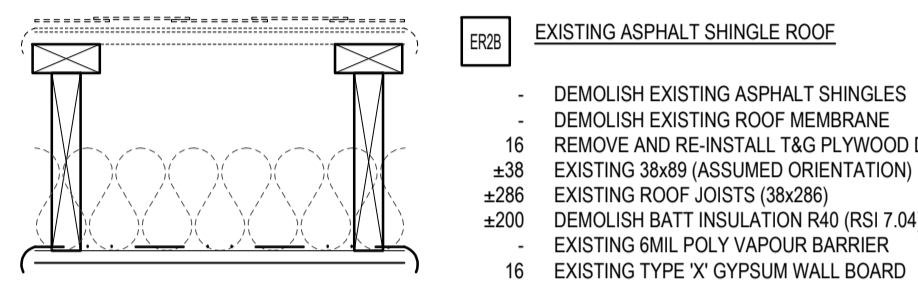
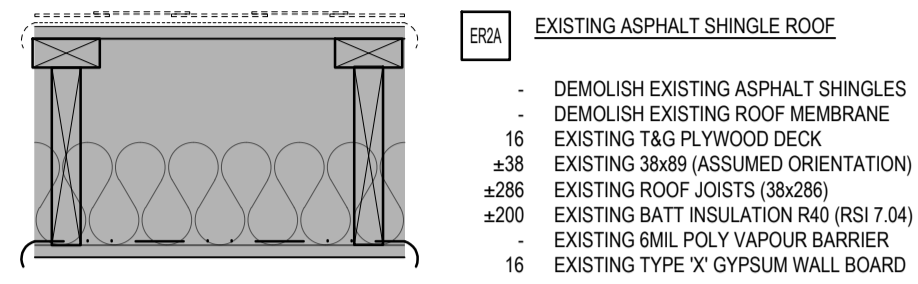
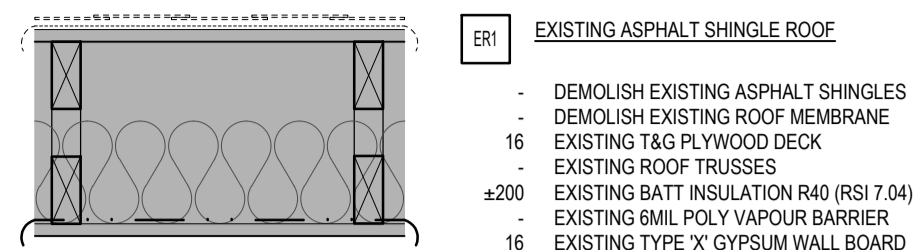
KZA PROJ. # 2021-26 LOCATION 1399 HAMILTON BLVD., WHITEHORSE  
 CLIENT YUKON GOVERNMENT

DRAWINGS ROOF PLAN - MEMBRANE REMEDIATION PROJ. NORTH

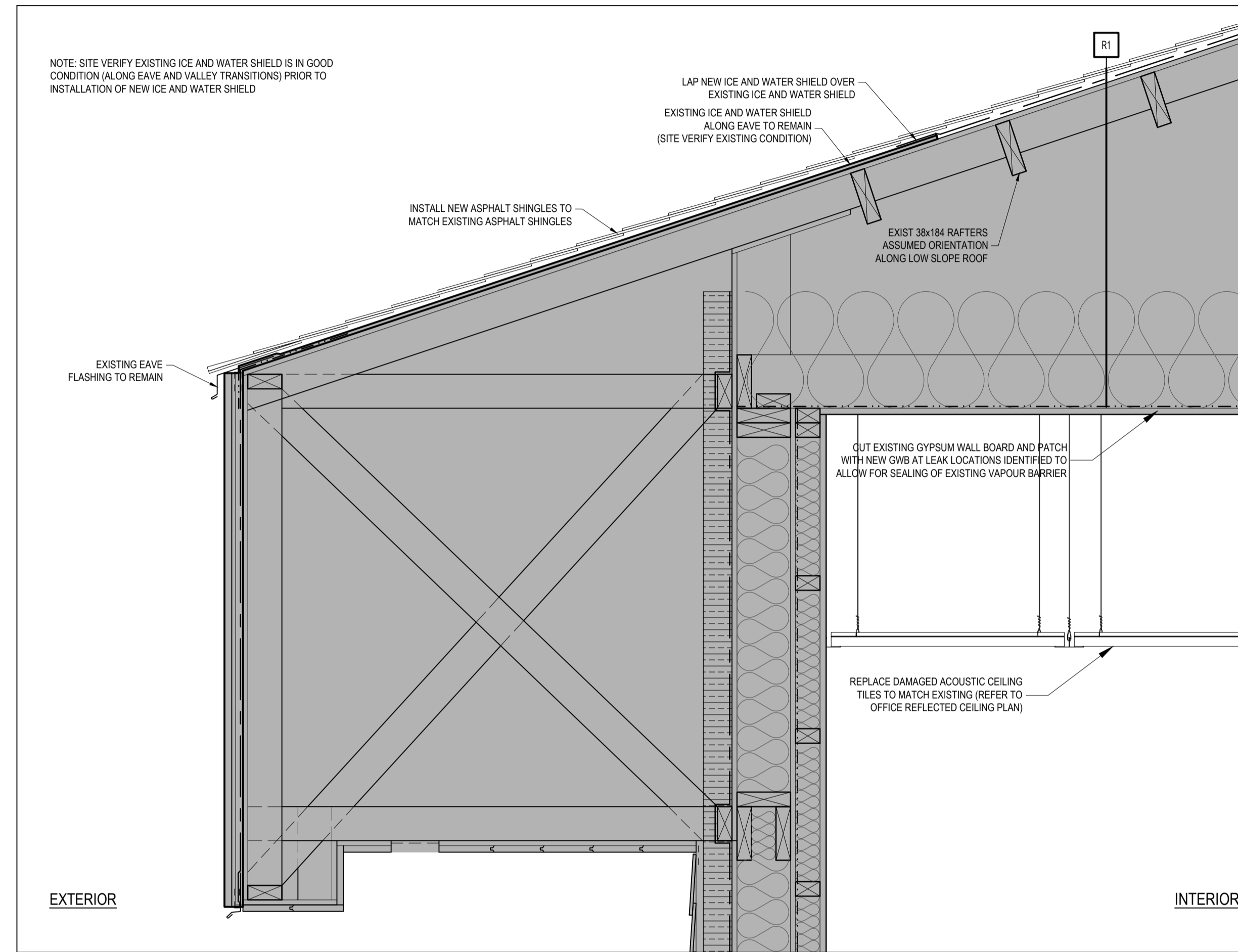
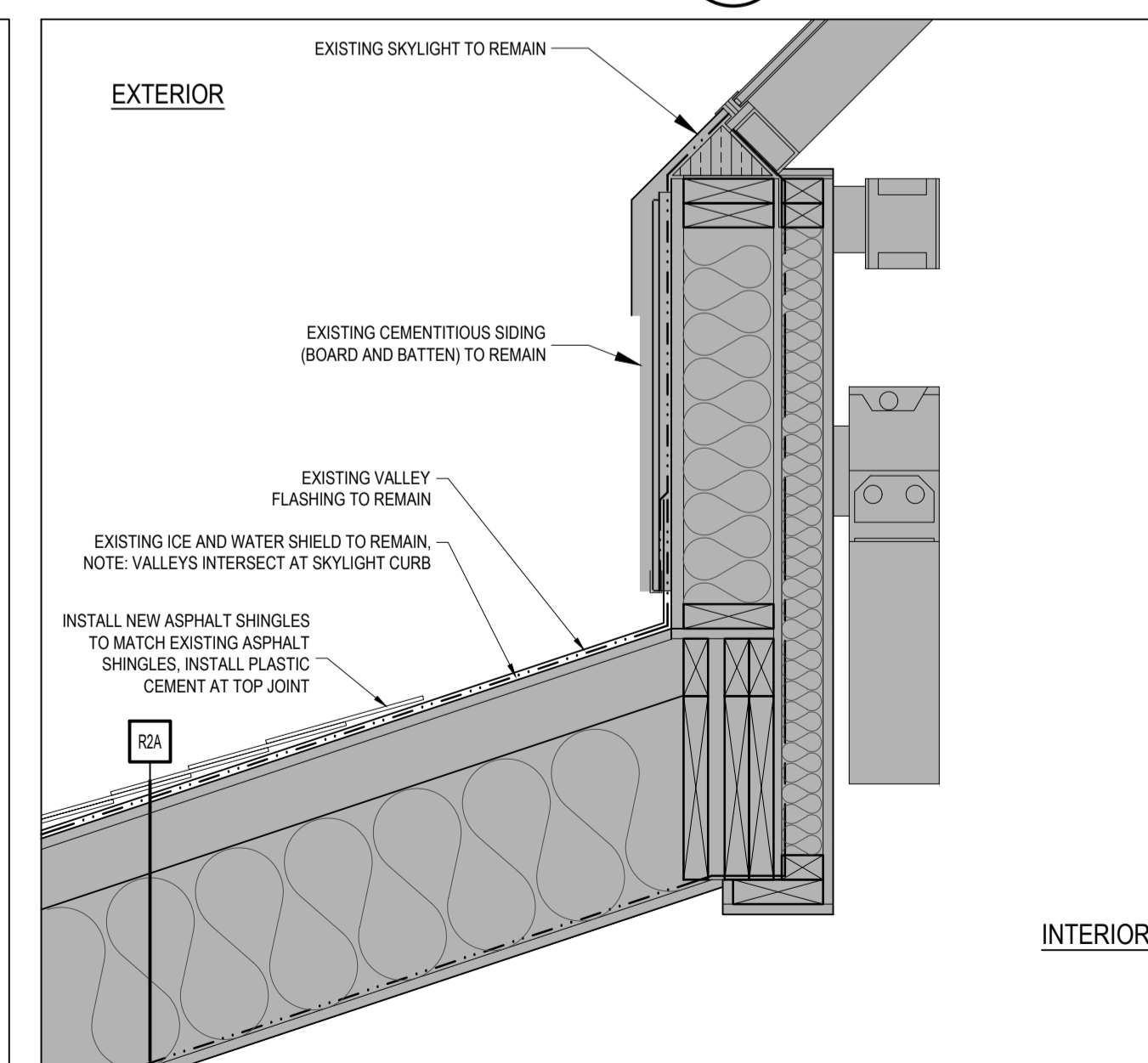
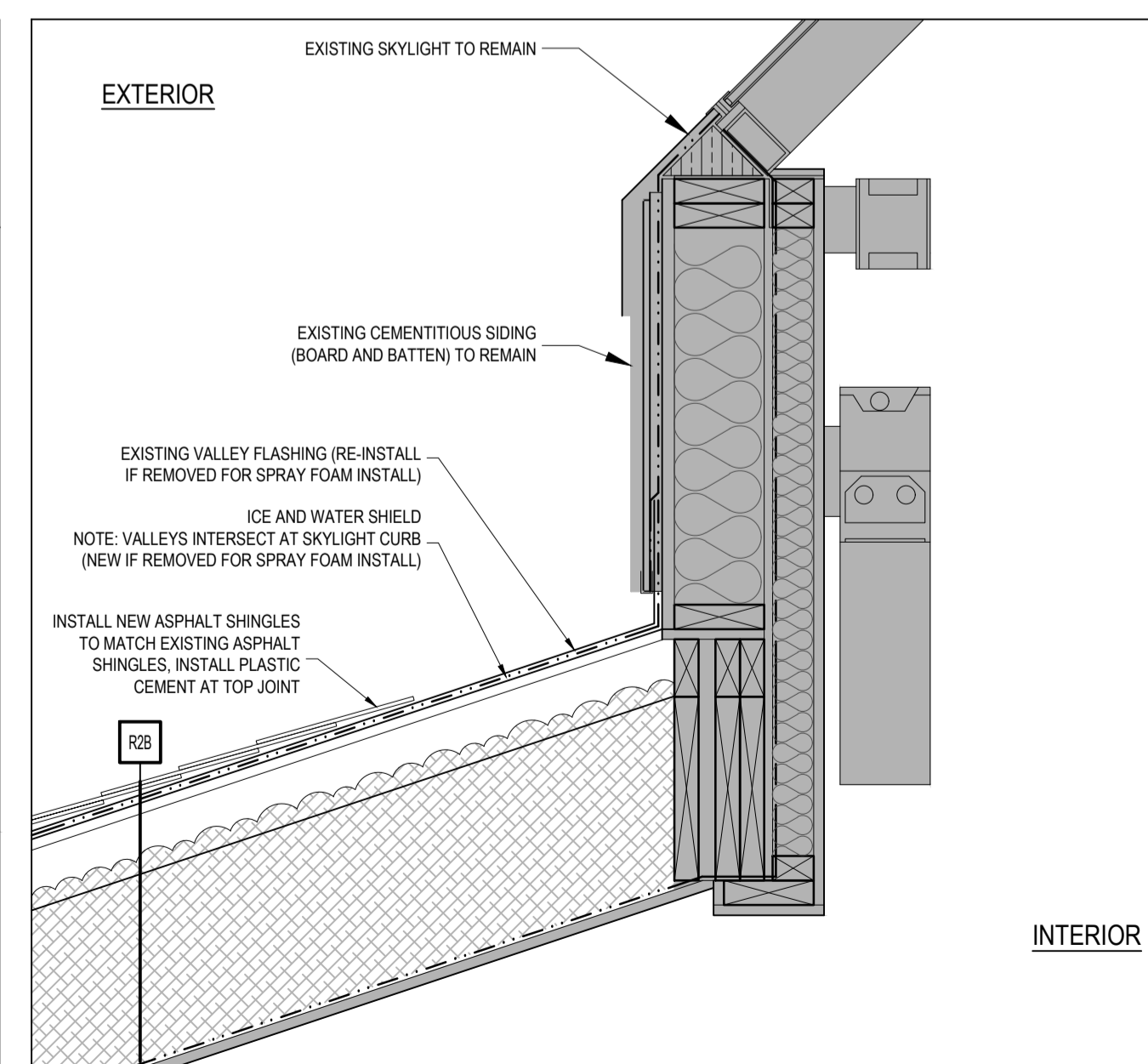
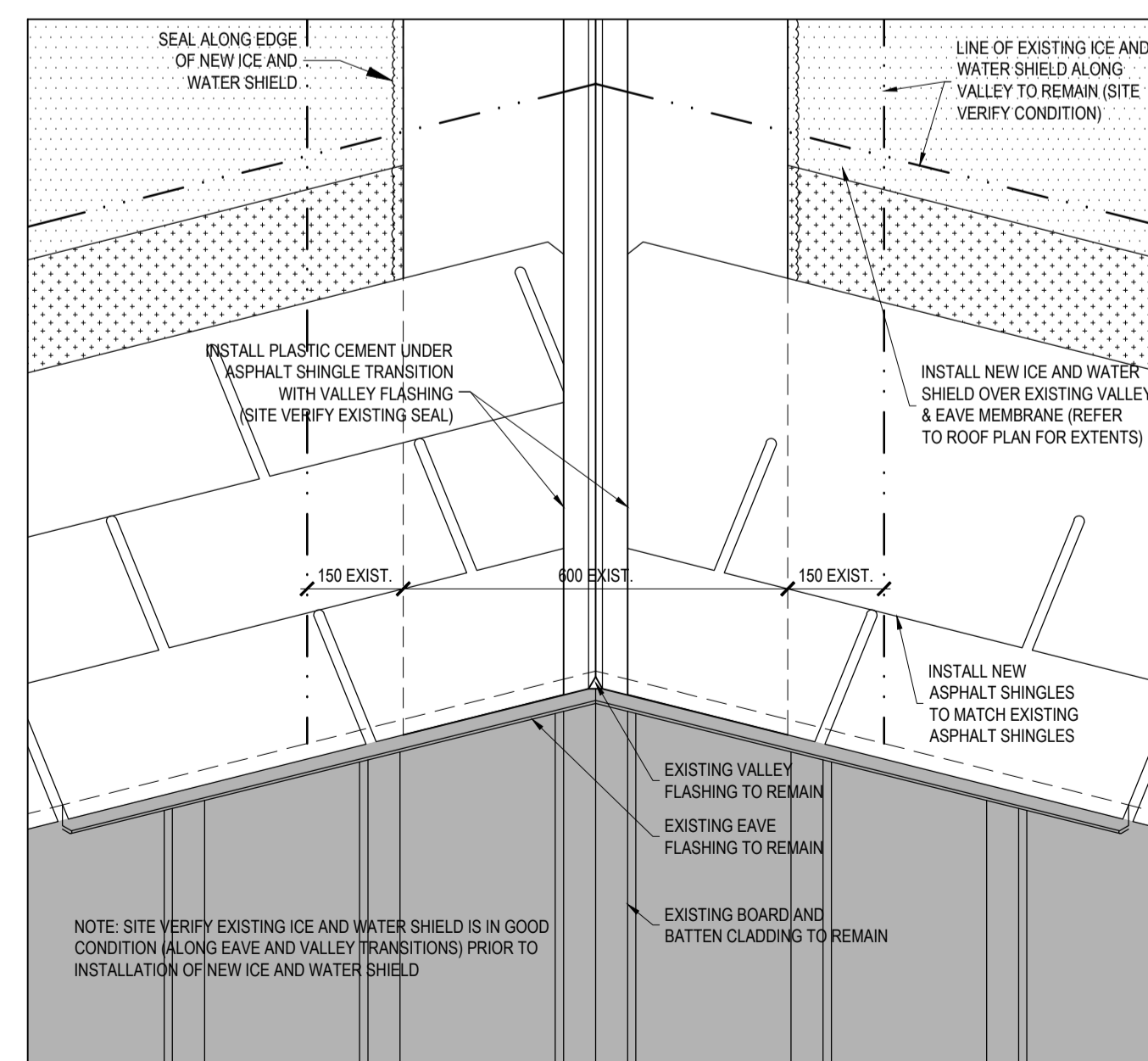
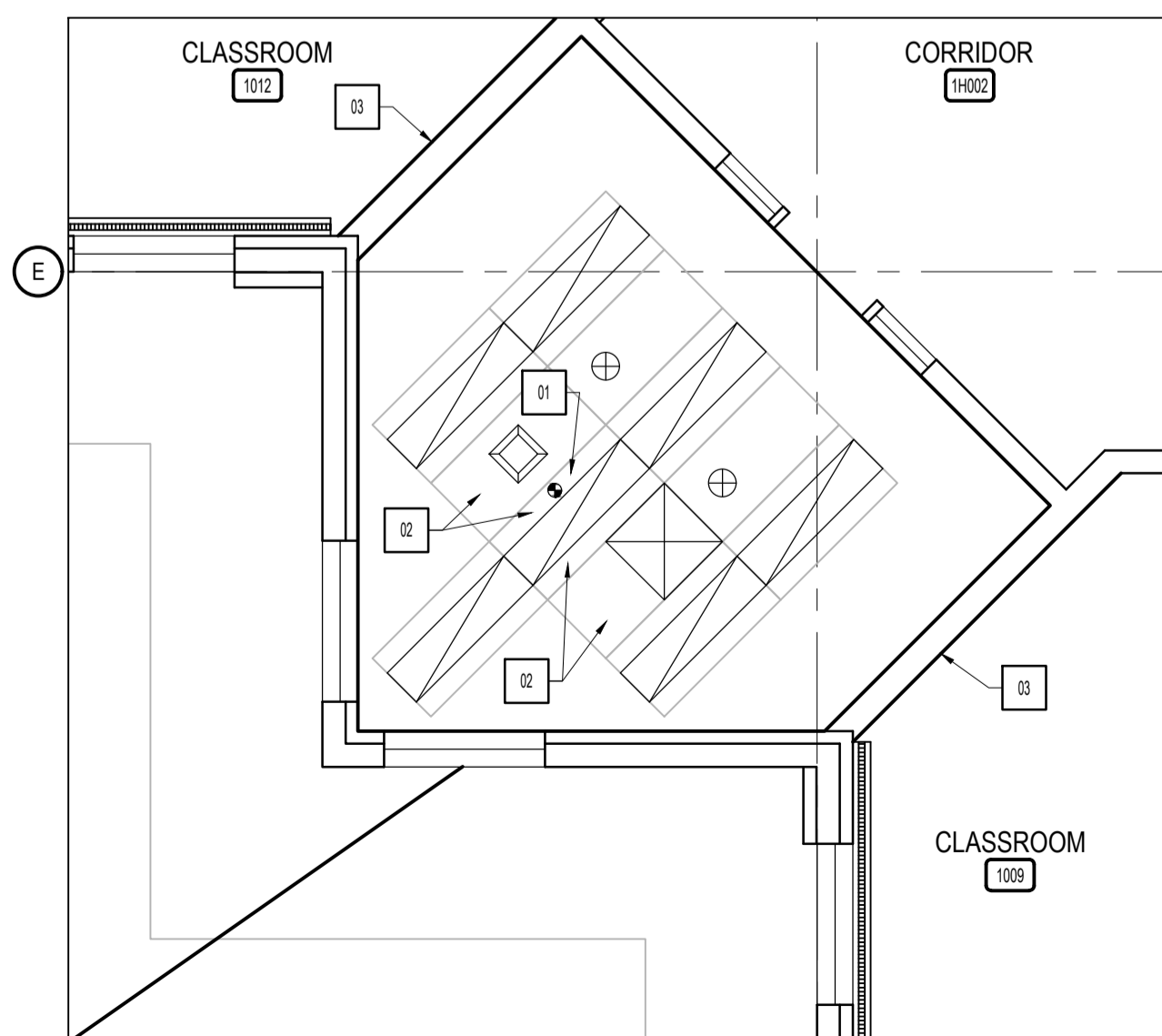
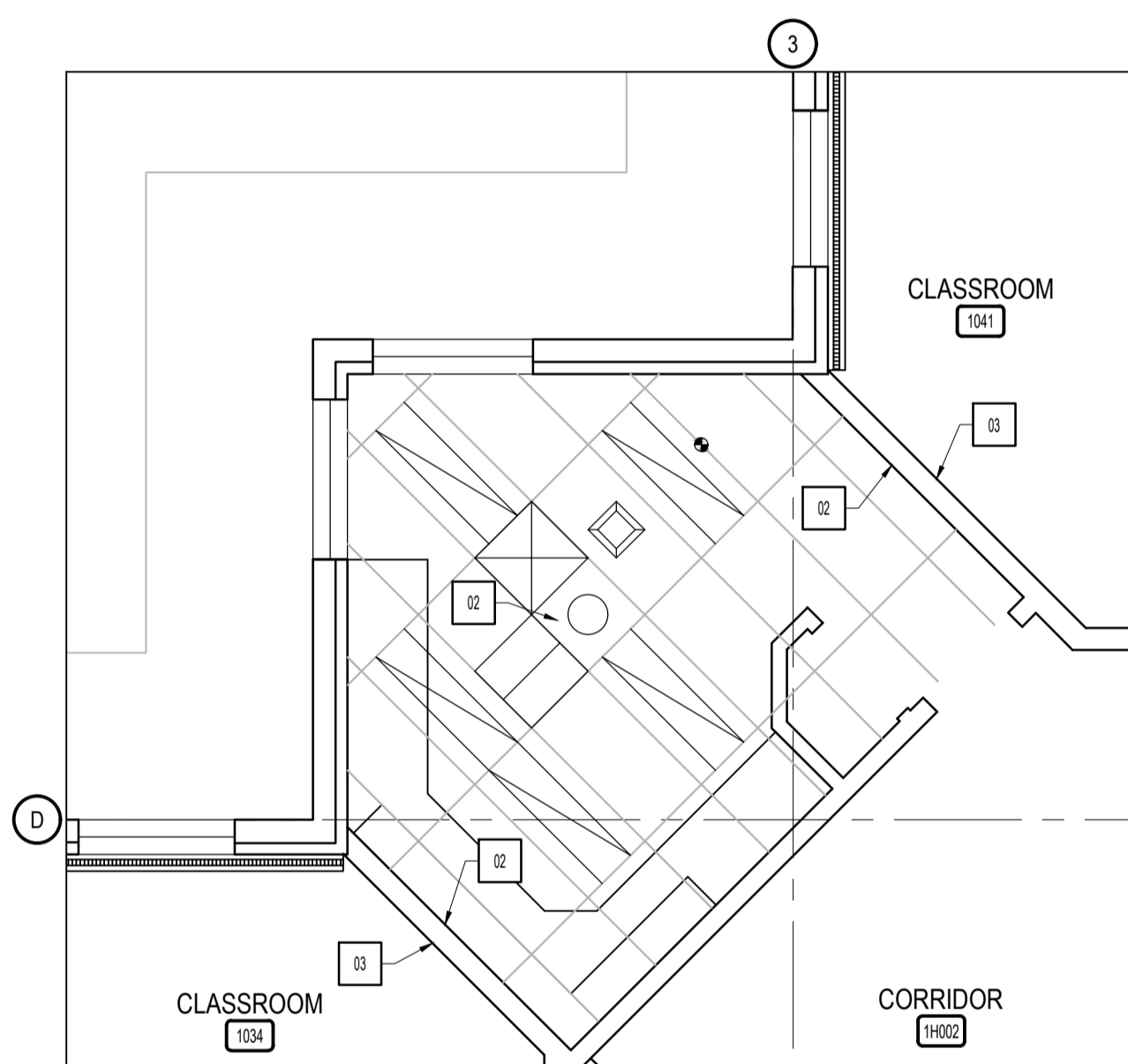
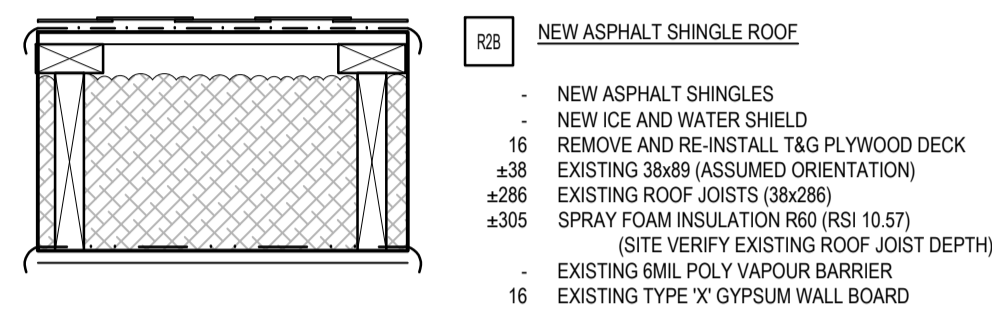
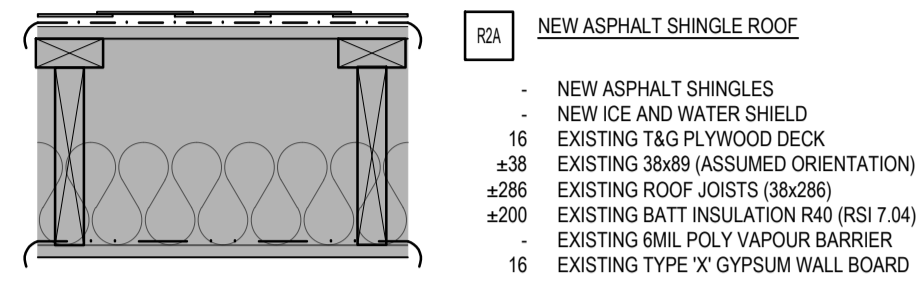
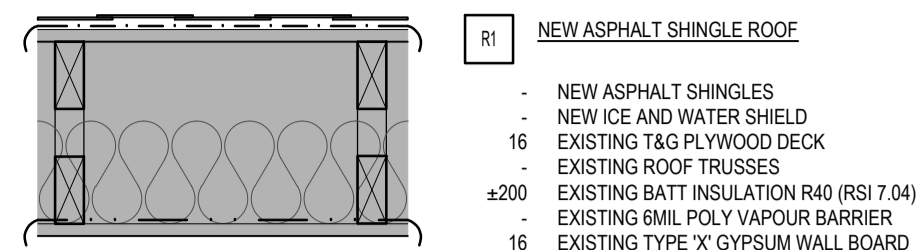
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SHEET  
**A1.01**

**EXISTING ROOF ASSEMBLIES:**



**NEW ROOF ASSEMBLIES:**



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**LEGEND**

EXISTING TO REMAIN

**ROP LEGEND**

- ALL EXISTING CEILING FIXTURES TO REMAIN. SITE VERIFY EXISTING CONDITIONS AND LOCATIONS.
- EXISTING LIGHT FIXTURE TO REMAIN
  - EXISTING DIFFUSER TO REMAIN
  - EXISTING RECESSED POT LIGHT TO REMAIN
  - EXISTING SPRINKLER HEAD TO REMAIN
  - EXISTING SPEAKER TO REMAIN

**REFLECTED CEILING PLAN NOTES:**

- EX EXISTING TO REMAIN.
- R1 APPROXIMATE LOCATION OF LEAK. SITE VERIFY CONDITIONS. PATCH EXISTING GYPSUM WALL BOARD ABOVE CEILING TILES.
- R2 REMOVE DAMAGED/ STAINED ACOUSTIC CEILING TILES AND REPLACE WITH NEW TO MATCH EXISTING.
- R3 REMOVE DAMAGED/ STAINED WALLPAPER AND INSTALL NEW WALLPAPER TO MATCH EXISTING ON BOTH SIDES OF WALL. (SITE VERIFY WALL CONDITION).

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DRAWINGS **CEILING PLAN & DETAILS** PROJ. NORTH

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SHEET

**A1.02**